

**AMENDMENT TO
DECLARATION OF CONDOMINIUM OF
REGENCY AT BOCA POINTE, A CONDOMINIUM
FOR PHASE 2**

WHEREAS, REGENCY DEVELOPERS, a Florida general partnership (the "Developer"), filed the Declaration of Condominium of REGENCY AT BOCA POINTE, A CONDOMINIUM, recorded in Official Records Book 5315, Page 0312, Public Records of Palm Beach County, Florida; and

WHEREAS, the Developer desires to add Phase 2 to condominium ownership pursuant to the plan of phasing of Regency at Boca Pointe, A Condominium;

NOW, THEREFORE, the Developer, as the owner of the property described and shown on the plot plan, survey and graphic descriptions attached hereto and made a part hereof as Exhibit "A" (the "Property"), hereby submits the Property, upon recordation of this Amendment, to condominium ownership under the Declaration of Condominium of Regency at Boca Pointe, A Condominium.

Because of the addition of Phase 2, the percentage share of each unit in the common elements, common expenses and common surplus in the Condominium is 1/96.

IN WITNESS WHEREOF, the Developer has caused these presents to be signed in its name.

Signed, sealed and delivered DEVELOPER:
in the presence of:

REGENCY DEVELOPERS, a Florida
general partnership

By: REGENCY AT BOCA POINTE, LTD.,
a Florida limited partnership
as its general partner

By: REGENCY AT BOCA POINTE,
DEVELOPMENT CORP., a
Florida corporation, as
general partner

Shannon L. Venter
Ellen J. Gusem

By: *Morris Richter*
Morris Richter
President

STATE OF FLORIDA)
:SS
COUNTY OF PALM BEACH)

The foregoing instrument was acknowledged before me this 23rd day of October, 1987, by Morris Richter, as President of REGENCY AT BOCA POINTE DEVELOPMENT CORP., a Florida corporation, as general partner of REGENCY AT BOCA POINTE, LTD., a Florida limited partnership as general partner of REGENCY DEVELOPERS, a Florida general partnership.

Dorothy J. Smith
Notary Public
State of Florida at Large
My Commission Expires:



MY COMMISSION
EXP. OCT. 25, 1988

Prepared By & Return To:
JAMES J. WHEELER, ESQUIRE
Broad and Cassel
7777 Glades Road Suite 300
Boca Raton, FL 33434

"WILL CALL AT'S" #26
FOR BROAD AND CASSEL (SW)
7777 W. GLADES ROAD
BOCA RATON, FL 33434

Certificate of Surveyor
REGENCY AT BOCA POINTE
A CONDOMINIUM PHASE II
STATE OF FLORIDA
COUNTY OF PALM BCH S.S.

Before me, the undersigned authority duly authorized to administer oaths and take acknowledgements, personally appeared DANIEL C. FORTIN, by me well known and known to me to be the person hereinafter described, who being by me first cautioned and sworn, deposes and says on oath as follows:

1. That he is a duly registered and duly licensed land surveyor authorized to practice under the laws of the State of Florida.

2. The construction of the improvements as shown on Sheets 5 thru 21 of the drawings to which this Certificate is appended is substantially complete, so that the survey of the land, of which a copy is attached to this Certificate as Sheet 5, and the graphic description of the condominium property, as shown on Sheet 5, together with the provisions of the declaration describing the condominium property, is an accurate representation of the location and dimensions of such improvements, so that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

3. That the architectural plans used in the preparation of this Exhibit were prepared by Charles Sieger - Architectural Offices - A.I.A., 9300 Southwest 87th Avenue, Miami, Florida 33176, phone 305/274-2702 and dated 2-20-85.

4. That the elevations shown on each floor plan are based on mean sea level datum, 1929 general adjustment, of the United States Coast and Geodetic Survey.

FURTHER AFFIANT SAYETH NAUGHT.

Daniel C. Fortin
 Daniel C. Fortin, Vice President
 For The Firm
 Professional Land Surveyor No. 2853
 State of Florida

Sworn to and subscribed before me
 this 21th day of October
 1987.

Michael J. Skiles
 Commission expires: May 16, 1991.

Revised: 10-10-87 AB-built 871203 - 5285

EXHIBIT - CERTIFICATE



Fortin, Leavy, Skiles, Inc.

Consulting Engineers & Land Surveyors

- ☐ 655 South Federal Highway / Boca Raton, Florida 33432
- ☐ 180 Northeast 188th Street / North Miami Beach, Florida 33162
- ☐ Dade 653-4493 / Broward 483-7180 / Boca Raton 395-7378

sheet 1 of 23

REGENCY AT BOCA POINTE A CONDOMINIUM

A portion of Tract A and all of Tract B; REGENCY AT BOCA POINTE, according to the Plat thereof as recorded in Plat Book 54, at page 17 & 18, of the Public Records of Palm Beach County, Florida, lying and being in Section 33, Township 47 South, Range 42 East, Palm Beach County, Florida, being more particularly described as follows:

Begin at the Southwest corner of said Tract B, the following three (3) courses being along the Southerly line of said Tract B & Tract A: (1) thence South 75°-01'-53" East for 666.09 feet; (2) thence South 01°-07'-20" East for 90.00 feet; (3) thence North 88°-52'-40" East along the Northerly right-of-way line of SW 18th Street for 10.00 feet to the Southeast corner of said Tract "A" also being the Southwest corner of Tract S-1, PROMENADE AT BOCA POINTE NO. 1, according to the Plat thereof as recorded in Plat Book 45, at pages 119 & 120, of the Public Records of Palm Beach County, Florida, the following three (3) courses being along the Eastern line of said Tract A and the Westerly line of said Tract S-1: (1) thence North 01°-07'-20" West for 90.00 feet to a Point of Curvature; (2) thence Northwesterly along a 178.37 foot radius curve leading to the left through a central angle of 38°-11'-50" for an arc of 118.91 feet to a point of Reverse curvature; (3) thence Northwesterly and Northeasterly along a 225.55 foot radius curve leading to the right through a central angle of 73°-56'-41" for an arc of 291.09 feet; thence North 55°-22'-29" West for 8.10 feet to a point on a circular curve concave to the Southeast and whose radius point bears South 55°-22'-29" East for 715.00 feet; thence Northeasterly along said 715.00 foot radius curve to the right through a central angle of 07°-43'-25" for an arc of 96.38 feet; thence North 00°-50'-30" East for 33.14 to a point on a circular curve concave to the Southwest whose radius point bears South 49°-20'-05" West for 112.05 feet; the following three (3) courses being along the Northerly line of said Tract A: (1) thence Northerly and Westerly along said 112.05 foot radius curve to the left through a central angle of 41°-04'-05" for an arc of 80.32 feet to a Point of Tangency; (2) thence North 01°-44'-00" West for 406.43 feet; (3) thence South 85°-53'-14" West for 210.34 feet; the following four (4) courses being along the Westerly line of said Tract A & Tract B: (1) thence South 01°-07'-20" East for 91.86 feet; (2) thence South 49°-43'-20" West for 55.00 feet; (3) thence South 40°-14'-40" East for 94.88 feet; (4) thence South 01°-07'-20" East for 203.33 feet to the POINT OF BEGINNING.

Containing 295,596 square feet or 6.7866 acres, more or less.

SURVEYOR'S NOTES:

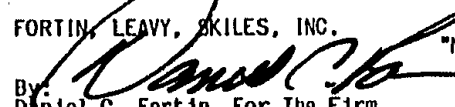
- Bearings shown hereon are based on said Plat Book 54, page 17 & 18, Palm Beach County, Florida.
- Lands shown hereon were not abstracted for easements and/or rights-of-way of records.
- This is not a "Sketch of Survey" but only a graphic depiction of the description shown hereon.

SURVEYOR'S CERTIFICATION:

We hereby certify that the attached "Sketch of Description" of the above described parcel of land is true and correct to the best of our knowledge and belief as prepared on October 5, 1987, under our direction and complies with the minimum technical standards set forth by the State of Florida Board of Land Surveyors.

FORTIN, LEAVY, SKILES, INC.

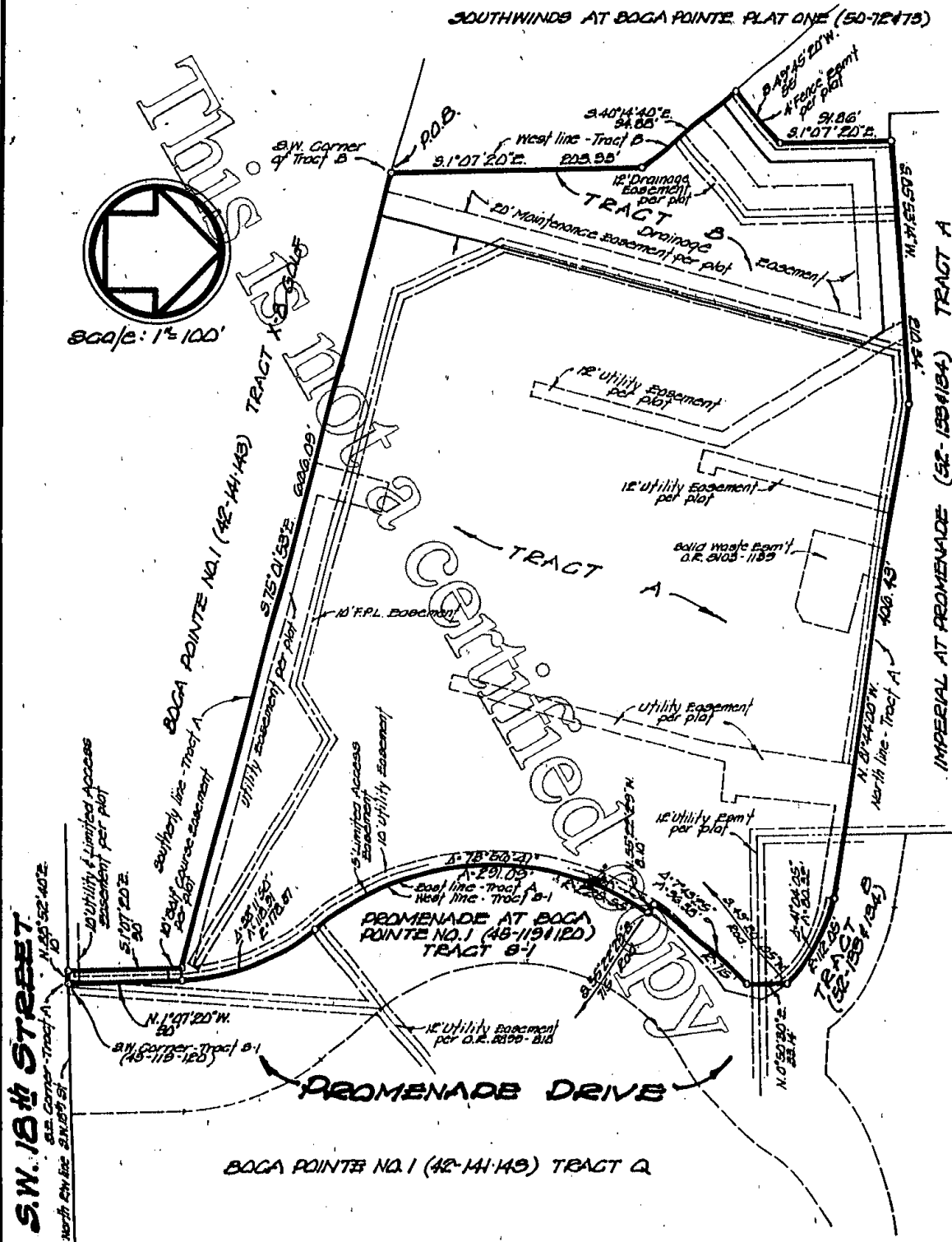
"NOT VALID UNLESS SEALED"

By: 
Daniel C. Fortin, For The Firm
Professional Land Surveyor No. 2853
State of Florida

Note: See Sheet 3 of 28 for
Sketch of Description

SKETCH OF DESCRIPTION:
REGENCY AT BOCA POINTE
A CONDOMINIUM

SOUTHWINDS AT BOGA POINTE PLAT ONE (50-72473)



Note: See sheet 2 of 28 for Description, Notes and Certification of Sketch of Description.

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

A portion of Tract "A"; REGENCY AT BOCA POINTE, according to the Plat thereof as recorded in Plat Book 54, at page 17 & 18, of the Public Records of Palm Beach County, Florida, lying and being in Section 33, Township 47 South, Range 42 East, Palm Beach County, Florida, being more particularly described as follows:

Commence at the Southwest corner of Tract B of said, REGENCY AT BOCA POINTE, according to the Plat thereof as recorded in Plat Book 54, at page 17 & 18, of the Public Records of Palm Beach County, Florida; thence South 75°-01'-53" East along the Southerly line of said Tract B and Tract A for 281.09 feet to the Point of Beginning of the hereinafter described parcel of land; the following three (3) courses being along the Southerly line of said Tract A; (1) thence continue South 75°-01'-53" East for 385.00 feet; (2) thence South 01°-07'-20" East for 90.00 feet; (3) thence North 88°-52'-40" East along the Northerly right-of-way line of SW 18th Street for 10.00 feet to the Southeast corner of said Tract "A" also being the Southwest corner of Tract S-1, PROMENADE AT BOCA POINTE NO. 1, according to the Plat thereof as recorded in Plat Book 45, at pages 119 & 120, of the Public Records of Palm Beach County, Florida, the following three (3) courses being along the Easterly line of said Tract A and the Westerly line of said Tract S-1; (1) thence North 01°-07'-20" West for 90.00 feet to a Point of Curvature; (2) thence Northwest along a 178.37 foot radius curve leading to the left through a central angle of 38°-11'-50" for an arc of 118.91 feet to a point of reverse curvature; (3) thence Northwest and Northeast along a 225.55 foot radius curve leading to the right through a central angle of 73°-56'-41" for an arc of 291.09 feet; thence North 55°-22'-29" West for 8.10 feet to a point on a circular curve concave to the Southeast and whose radius point bears South 55°-22'-29" East for 715.00 feet; thence Northerly and Easterly along said 715.00 foot radius curve to the right through a central angle of 07°-43'-25" for an arc of 96.38 feet; thence North 00°-50'-30" East for 33.14 feet to a point on a circular curve concave to the Southwest whose radius point bears South 49°-20'-05" West for 112.05 feet; the following two (2) courses being along the Northerly line of said Tract A; (1) thence Northerly and Westerly along said 112.05 foot radius curve to the left through a central angle of 41°-04'-05" for an arc of 80.32 feet to a Point of Tangency; (2) thence North 81°-44'-00" West for 117.44 feet; the following nine (9) courses being along the common line of Phase I and Phase II, REGENCY AT BOCA POINTE, A CONDOMINIUM; (1) thence South 14°-58'-07" West for 65.54 feet; (2) thence South 29°-58'-07" West for 100.00 feet; (3) thence South 59°-58'-07" West for 65.00 feet; (4) thence North 75°-01'-53" West for 15.00 feet; (5) thence South 14°-58'-07" West for 92.33 feet; (6) thence North 75°-01'-53" West for 9.50 feet; (7) thence South 14°-58'-07" West for 88.00 feet; (8) thence South 75°-01'-53" East for 20.00 feet; (9) thence South 14°-58'-07" West for 97.00 feet to the POINT OF BEGINNING.

Containing 128,479 square feet or 2.9495 acres, more or less.

SURVEYOR'S NOTES:

- Bearings shown hereon are based on said Plat Book 54, page 17 & 18, Palm Beach County, Florida.
- Lands shown hereon were not abstracted for easements and/or rights-of-way of records.

SURVEYOR'S CERTIFICATION:

We hereby certify that the attached "Sketch of Survey" of the above described parcel of land is true and correct to the best of our knowledge and belief as surveyed on October 5, 1987, under our direction and complies with the minimum technical standards set forth by the State of Florida Board of Land Surveyors.

FORTIN, LEAVY, SKILES, INC.

By: *[Signature]*
Daniel C. Fortin, For The Firm
Professional Land Surveyor No. 2853
State of Florida

"NOT VALID UNLESS SEALED"

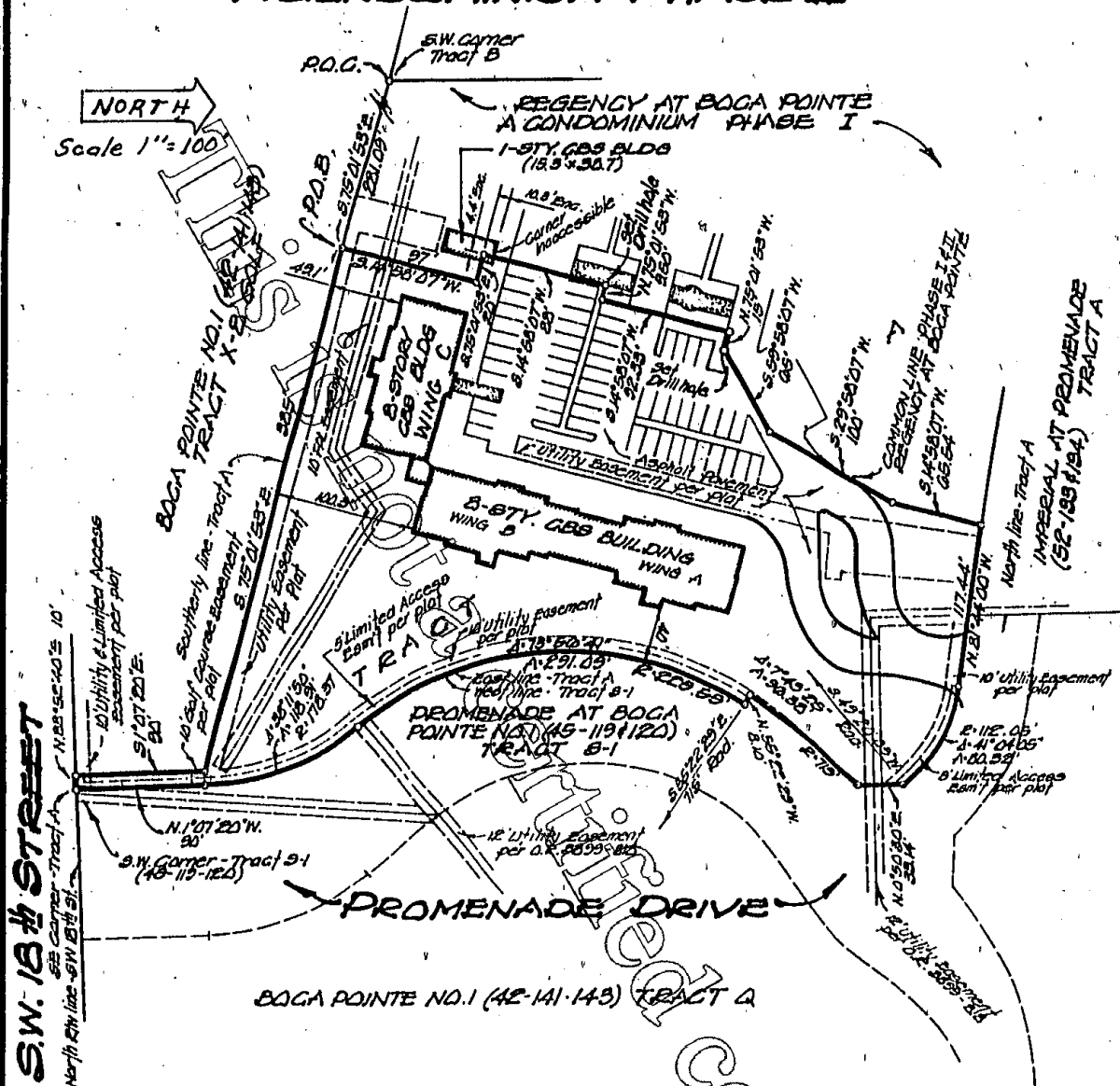
Note: See sheet 5 of 28 for
Sketch of Survey

EXHIBIT

- DESCRIPTION & CERTIFICATION

sheet 4 of 28

REGENCY AT BOGA POINTE
A CONDOMINIUM PHASE II



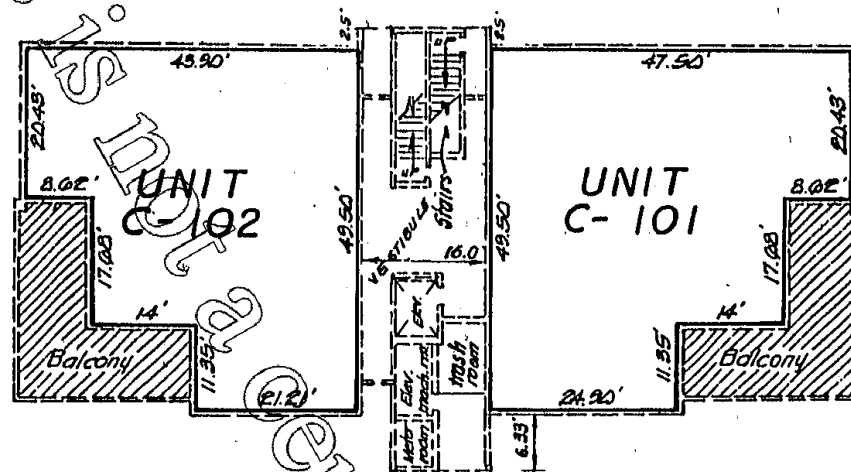
Note:

see sheet 4 of 28 for Description, Notes,
and Certification of Survey.

o indicates Set 1/2" Pipe & Cop LS 8053
unless otherwise shown.

Parking spaces are limited common elements.

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II



NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 17.00

CEILING ELEVATION: 29.05



LEGEND:

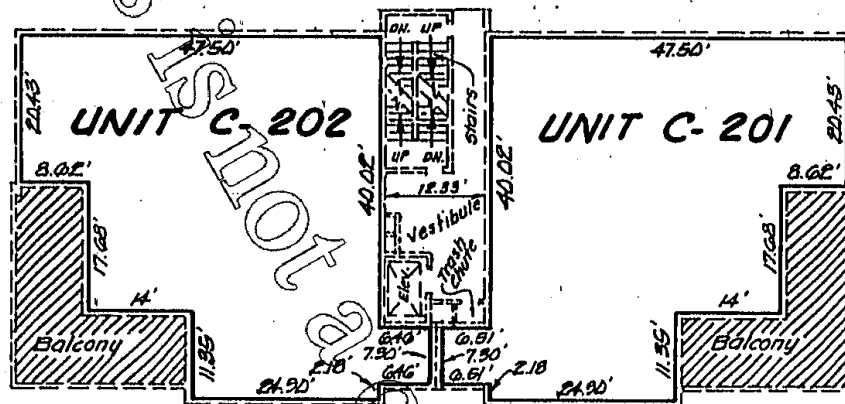
- Condominium Unit boundary line.
- - - Common Element boundary line.
- ▨ Limited Common elements.

GROUND
FLOOR PLAN - WING I

EXHIBIT

SHEET 6 OF 28

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II



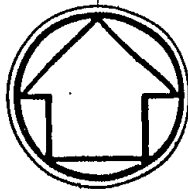
WING II

NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 25.75

CEILING ELEVATION: 33.83

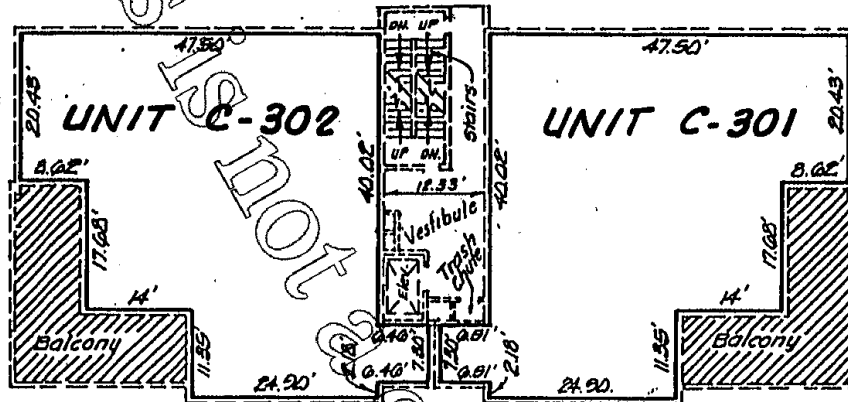


LEGEND:

- Condominium Unit boundary line.
- - - - Common Element boundary line.
- ▨ Limited Common elements.

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

WING II

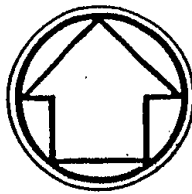


NOTES

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 34.46

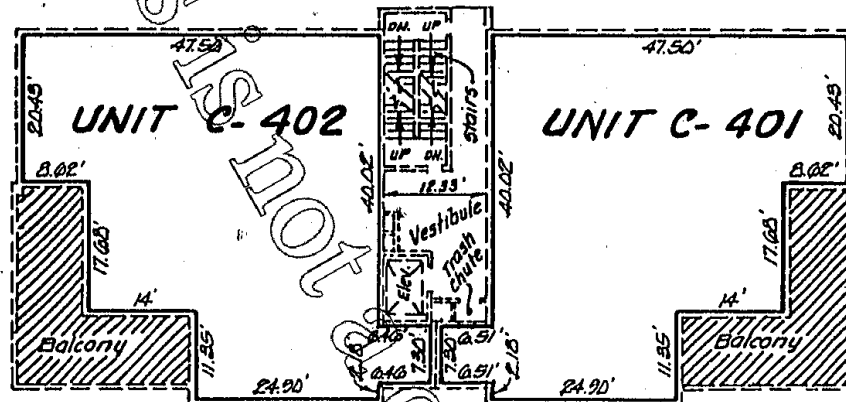
CEILING ELEVATION: 42.46



LEGEND:

- Condominium Unit boundary line.
- - - - Common Element boundary line.
- ▨ Limited Common elements.

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II



WING II

NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

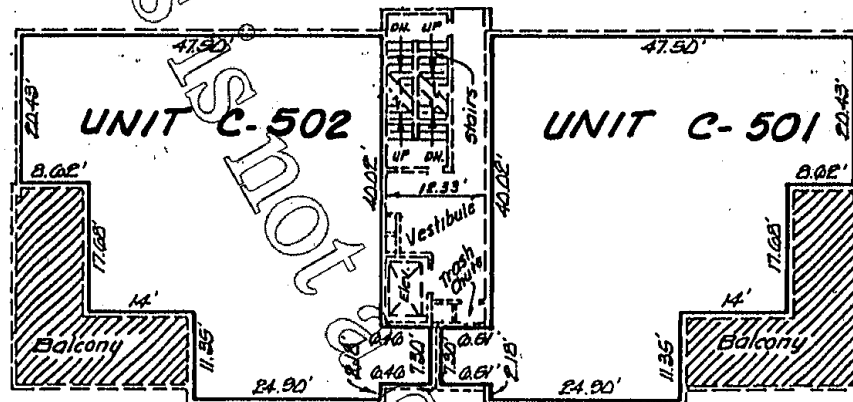
FLOOR ELEVATION: 43.72

CEILING ELEVATION: 51.35

LEGEND:

- Condominium Unit boundary line.
- - - - Common Element boundary line.
- ▨ Limited Common elements.

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II



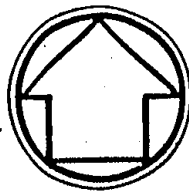
WING II

NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 52.04

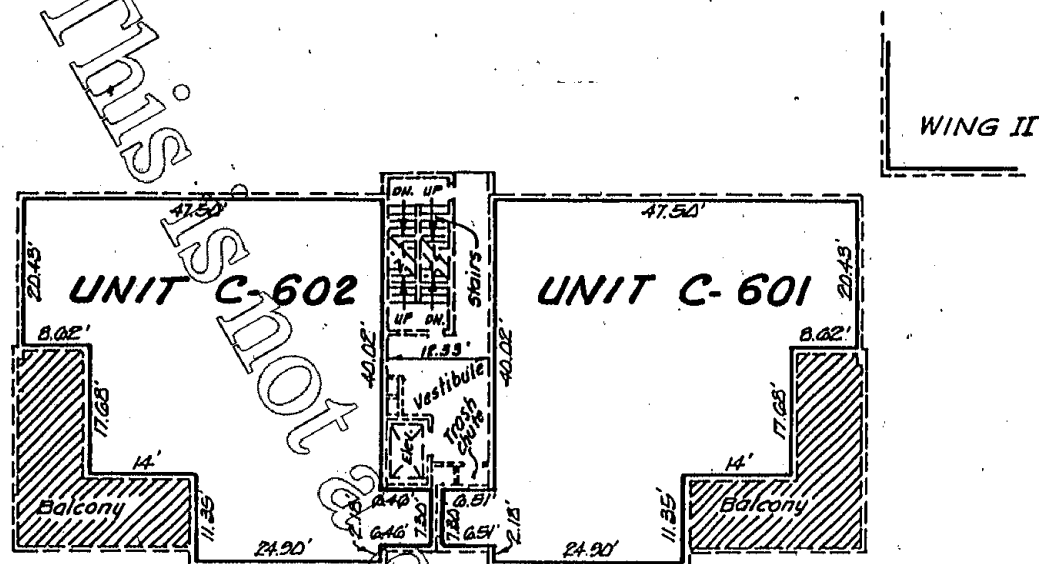
CEILING ELEVATION: 60.12



LEGEND:

- Condominium Unit boundary line.
- Common Element boundary line.
- ▨ Limited Common elements.

**REGENCY AT BOCA POINTE
A CONDOMINIUM PHASE II**

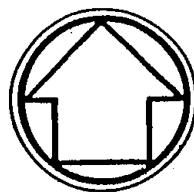


NOTES




Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 60.82

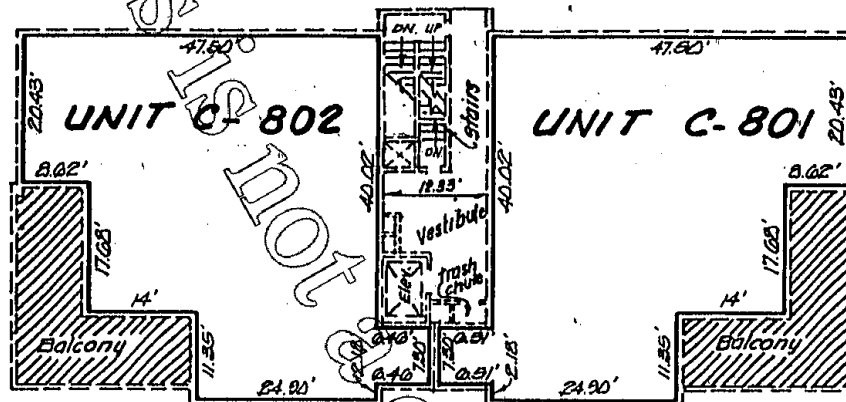
CEILING ELEVATION: 68.90



LEGEND:

-  Condominium Unit boundary line.
 Common Element boundary line.
 Limited Common elements.

**REGENCY AT BOCA POINTE
A CONDOMINIUM PHASE II**



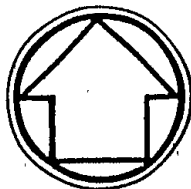
WING II

NOTES




Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 78.47

CEILING ELEVATION: 87.62



LEGEND:

-  Condominium Unit boundary line.
 Common Element boundary line.
 Limited Common elements.

8TH FLOOR PLAN - WING I
EXHIBIT **SHE**

SHEET 13 OF 28

REGENCY AT BOCA POINTE, A CONDOMINIUM PHASE II

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NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 29.83

CEILING ELEVATION: 33.91

LEGEND:

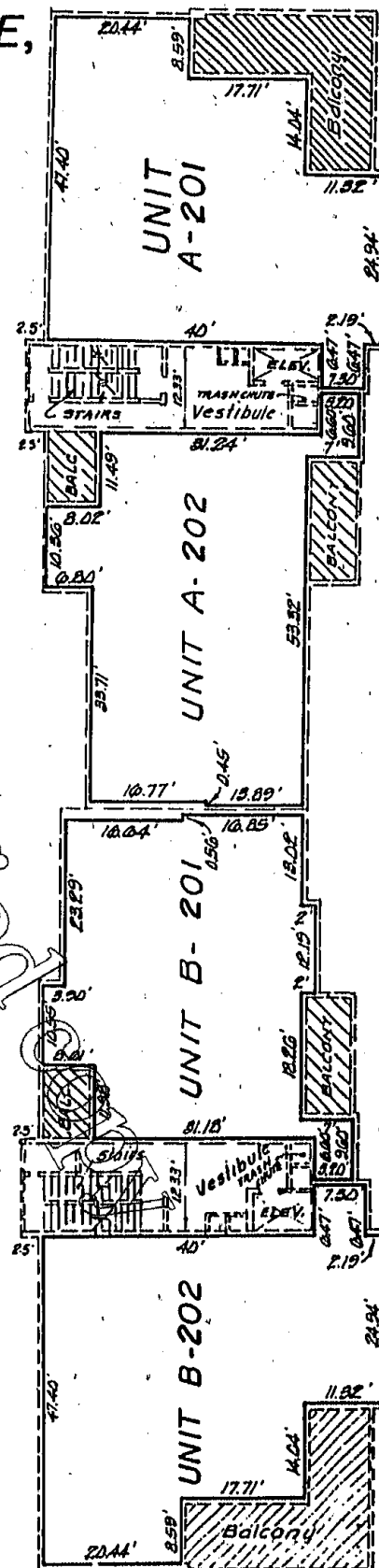
-  Condominium Unit boundary line.
-  Common Element boundary line.
-  Limited Common elements.

2ND FLOOR PLAN - WING II

EXHIBIT

WING I

SHEET 15 OF 28



REGENCY AT BOCA POINTE,
A CONDOMINIUM
PHASE II




NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 34.63

CEILING ELEVATION: 42.74

LEGEND:

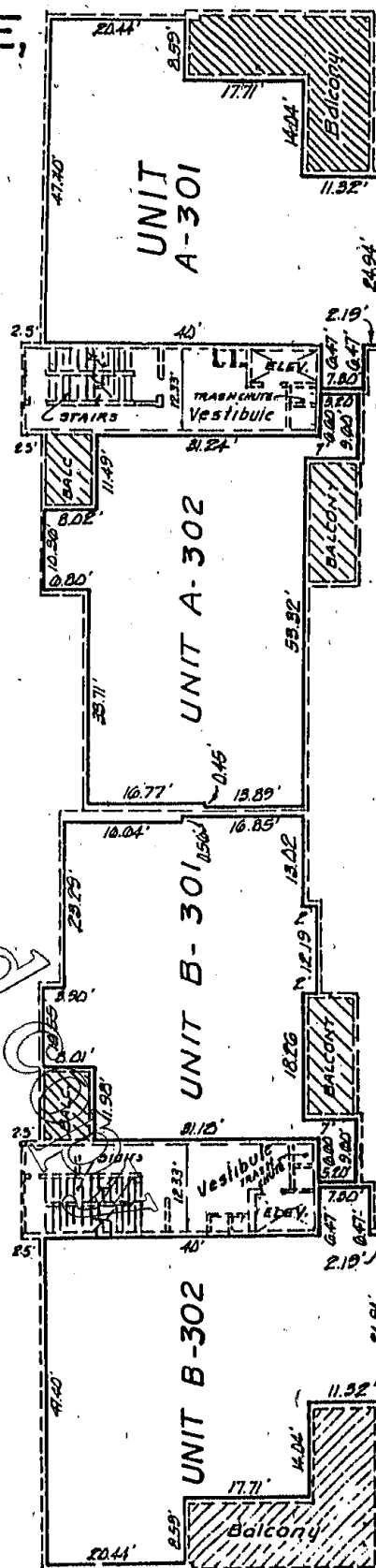
-  Condominium Unit boundary line.
 Common Element boundary line.
 Limited Common elements.

3RD FLOOR PLAN - WING II

EXHIBIT

WING I

SHEET 16 OF 28



REGENCY AT BOCA POINTE, A CONDOMINIUM PHASE II

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NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 43.45

CEILING ELEVATION: 51.54

LEGEND:

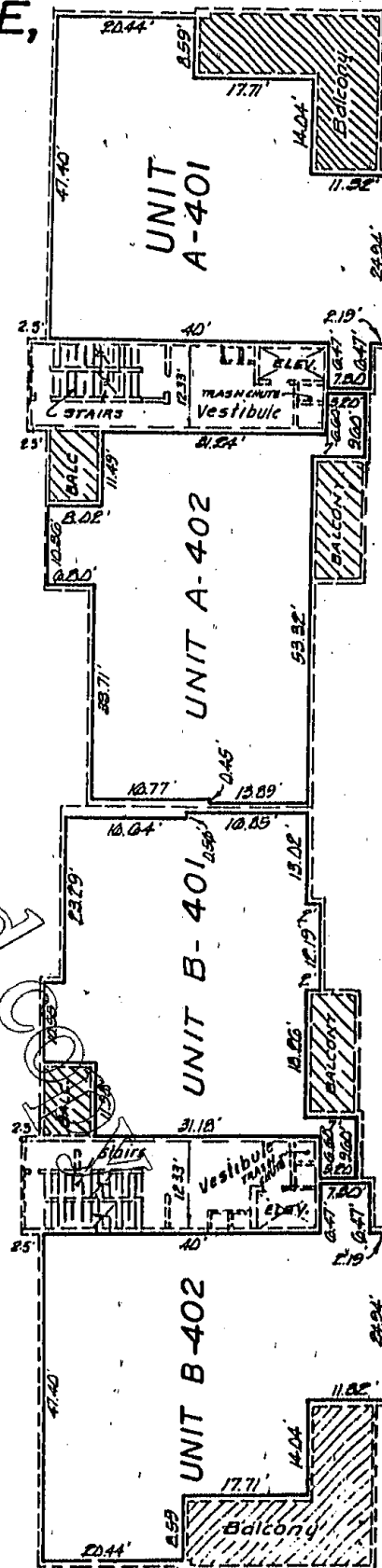
- Condominium Unit boundary line.
- - - Common Element boundary line.
- ▨ Limited Common elements.

4TH FLOOR PLAN - WING II

EXHIBIT

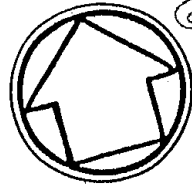
WING I

SHEET 17 OF 28



REGENCY AT BOCA POINTE, A CONDOMINIUM PHASE II

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NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 52.29

CEILING ELEVATION: 60.42

LEGEND:

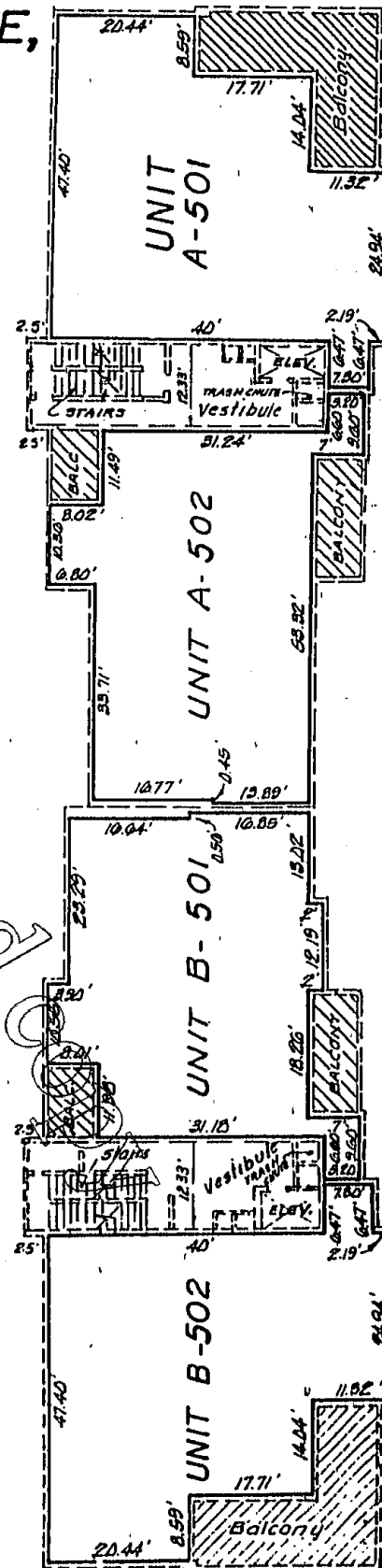
- Condominium Unit boundary line.
- - - Common Element boundary line.
-  Limited Common elements.

5TH FLOOR PLAN — WING II

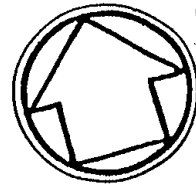
EXHIBIT

WING I

SHEET 13 OF 28



REGENCY AT BOCA POINTE, A CONDOMINIUM PHASE II






NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 61.15

CEILING ELEVATION: 62.25

LEGEND:

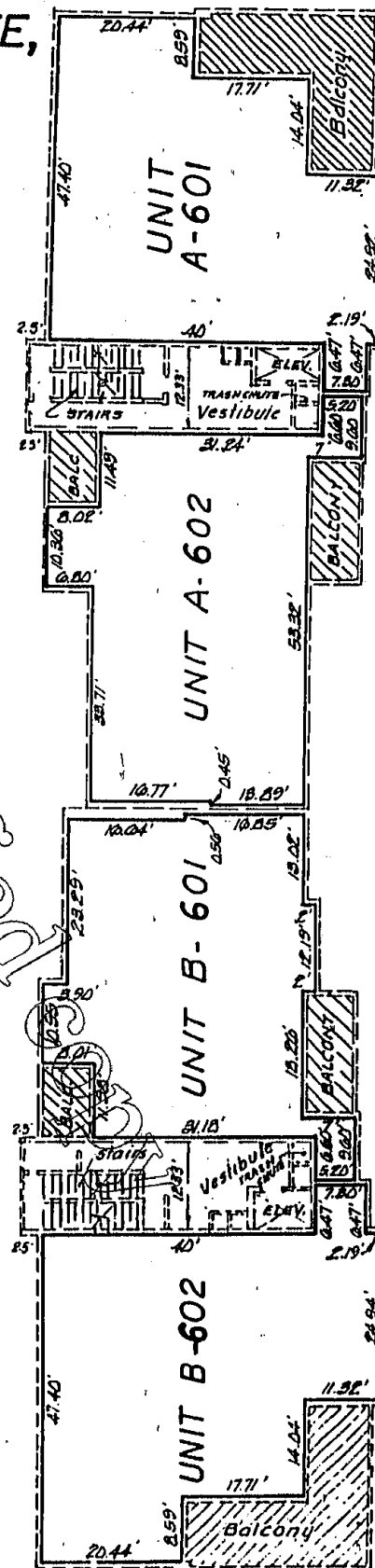
-  Condominium Unit boundary line.
-  Common Element boundary line.
-  Limited Common elements.

6TH FLOOR PLAN - WING II

EXHIBIT

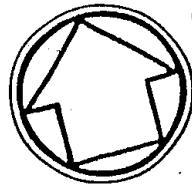
WING I

SHEET 19 OF 28



REGENCY AT BOCA POINTE, A CONDOMINIUM PHASE II

This is not a certified




NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 69.96

CEILING ELEVATION: 78.09

LEGEND:

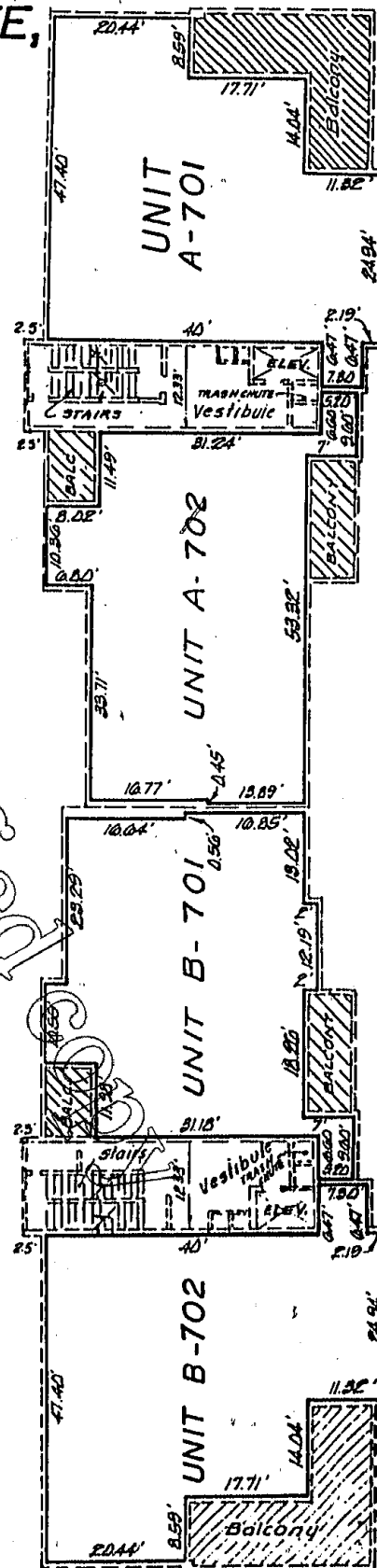
- Condominium Unit boundary line.
- - - Common Element boundary line.
-  Limited Common elements.

7TH FLOOR PLAN - WING II

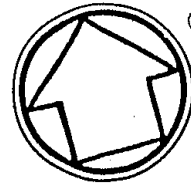
EXHIBIT

WING I

SHEET 20 OF 28



REGENCY AT BOCA POINTE, A CONDOMINIUM PHASE II




NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 78.76

CEILING ELEVATION: 88.04

LEGEND:

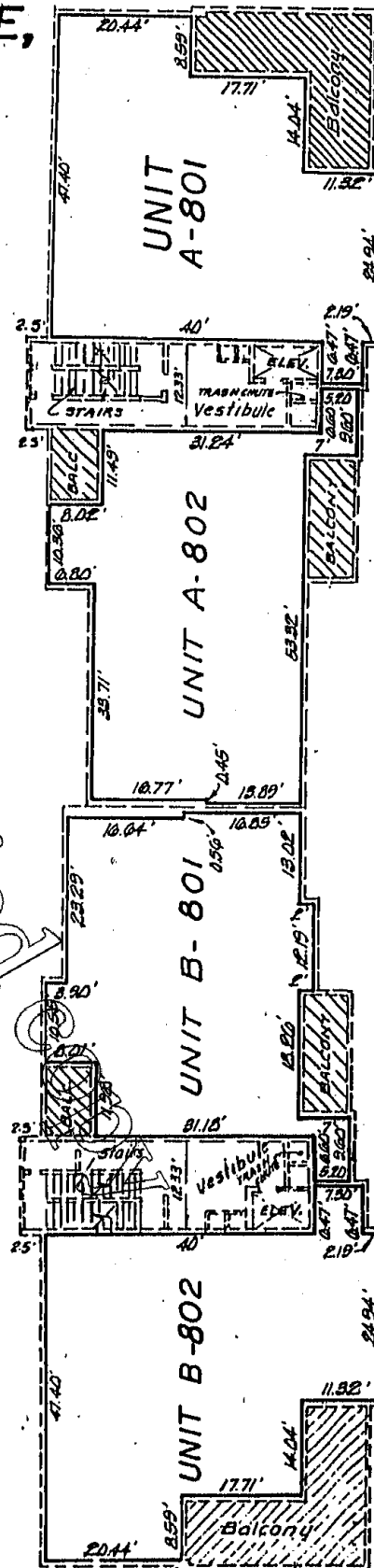
- Condominium Unit boundary line.
- Common Element boundary line.
-  Limited Common elements.

8THFLOOR PLAN — WING II

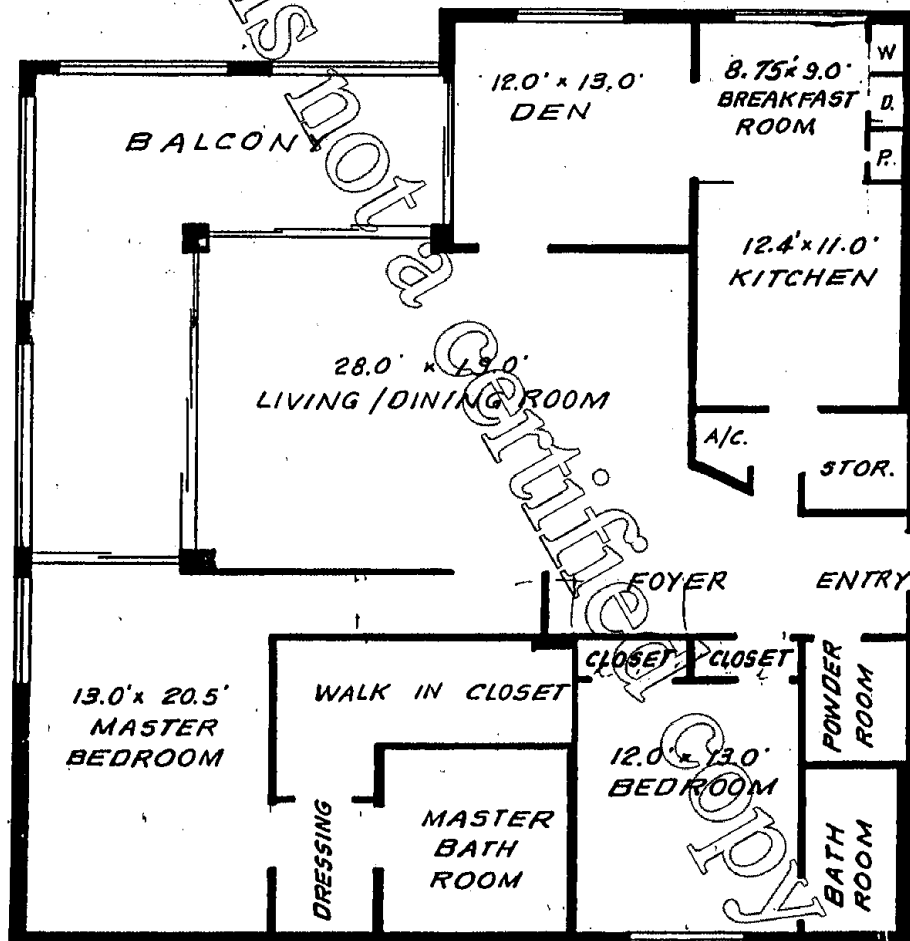
EXHIBIT

WING I

SHEET 21 OF 28



REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II



UNITS A-101 AND C-101

UNIT B-102 IDENTICAL TO ABOVE BUT REVERSED.

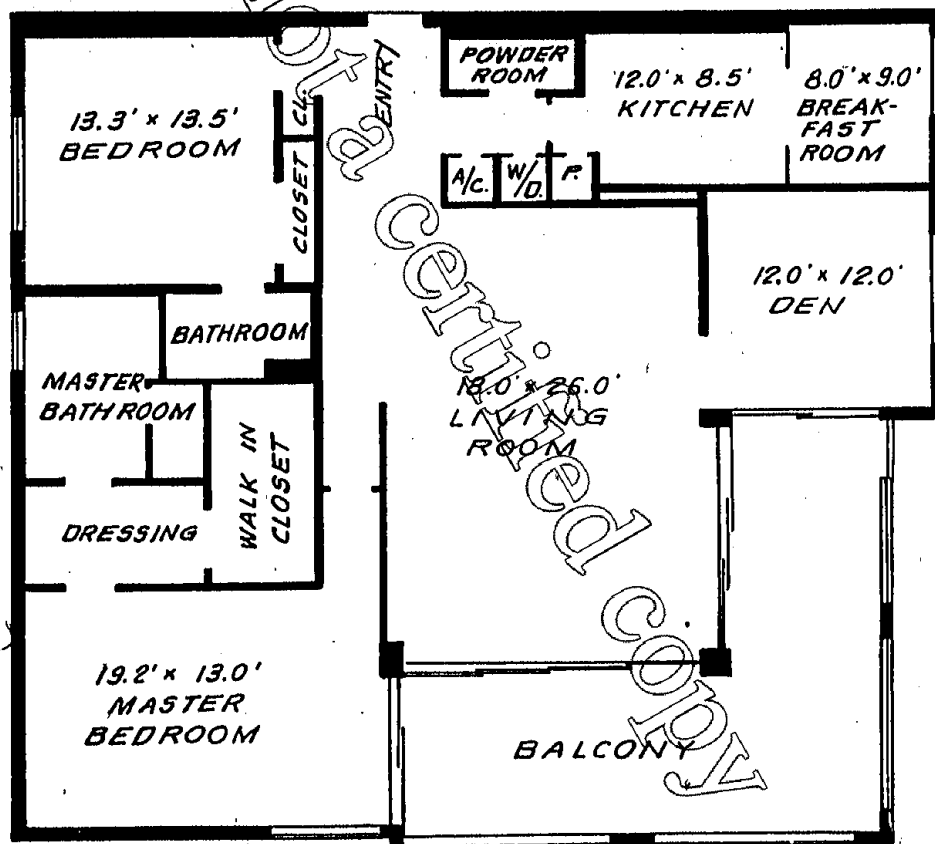
DIMENSIONS ARE APPROXIMATE

REGENCY
APT. "R" SPECIAL
TYPICAL FLOOR PLAN

EXHIBIT

SHEET 22 OF 28

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II



UNIT C-102

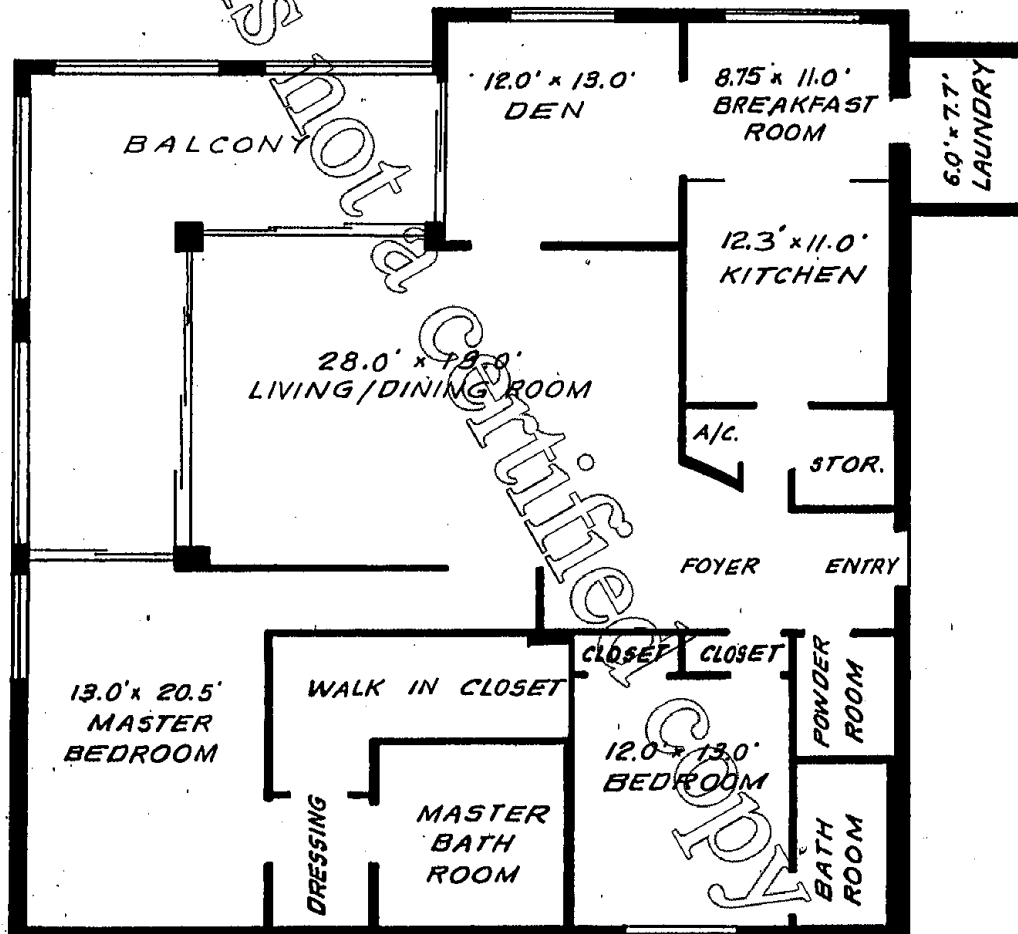
DIMENSIONS ARE APPROXIMATE

REGENCY
APT. "R" MODIFIED REVERSE
TYPICAL FLOOR PLAN

EXHIBIT

SHEET 23 OF 28

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II



UNITS C-201 TO C-801
A-201 TO A-801

UNITS C-202 TO C-802
B-202 TO B-802
IDENTICAL TO ABOVE
BUT REVERSED.

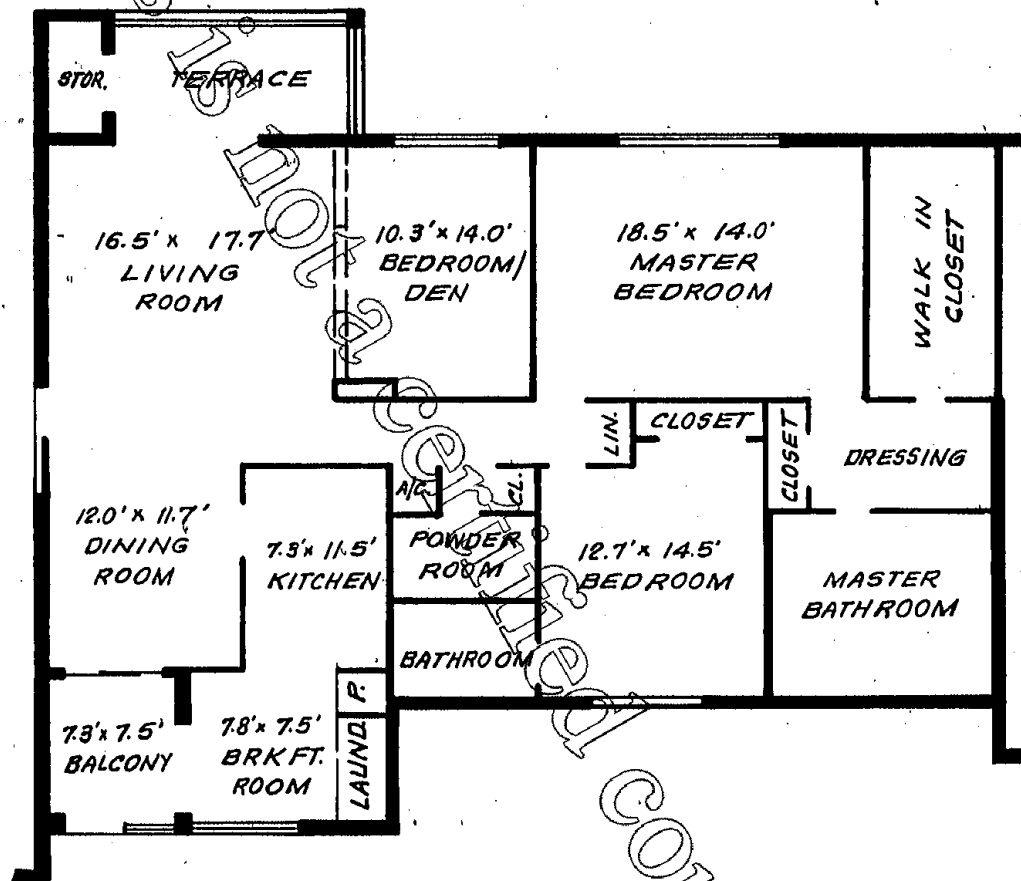
DIMENSIONS ARE APPROXIMATE

REGENCY
APT. "R"
TYPICAL FLOOR PLAN

EXHIBIT

SHEET 24 OF 28

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

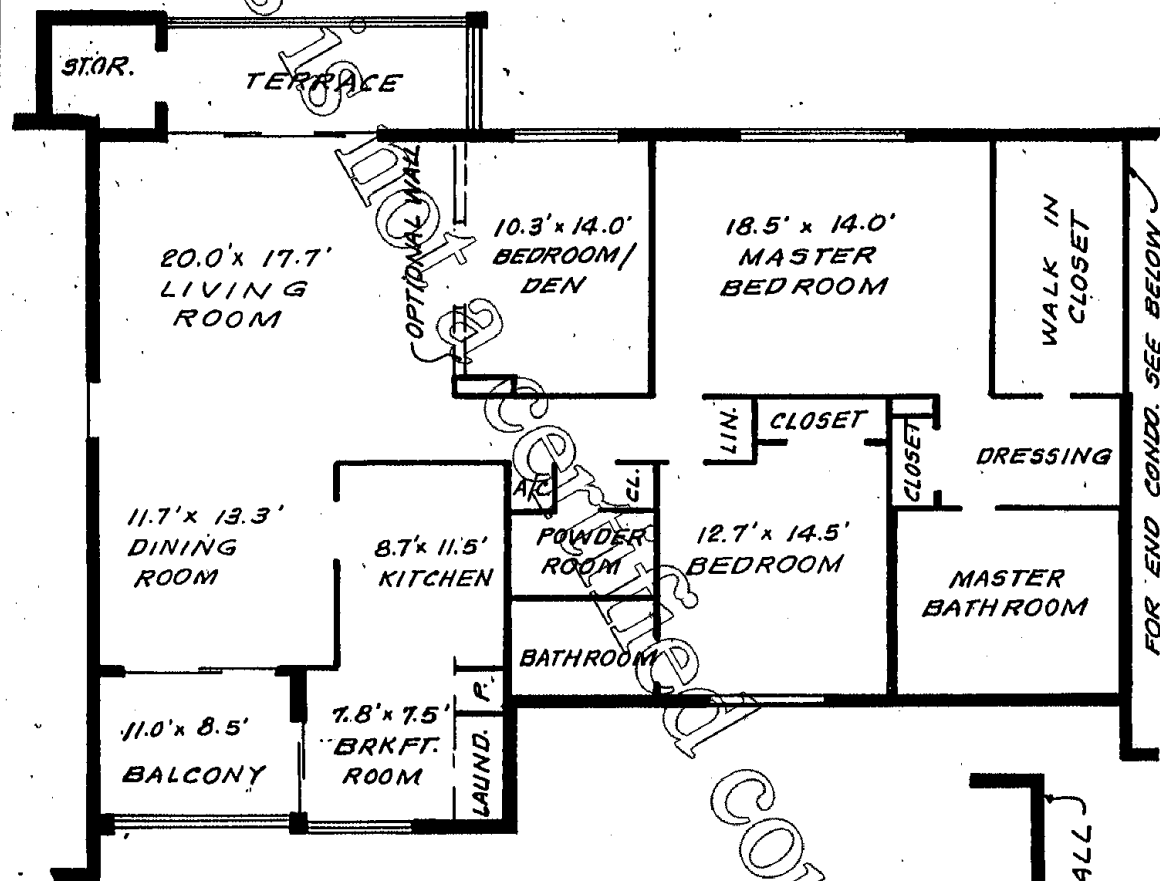


UNIT A-102

DIMENSIONS ARE APPROXIMATE

BRIGHTON
APT. 'B' MODIFIED
TYPICAL FLOOR PLAN

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

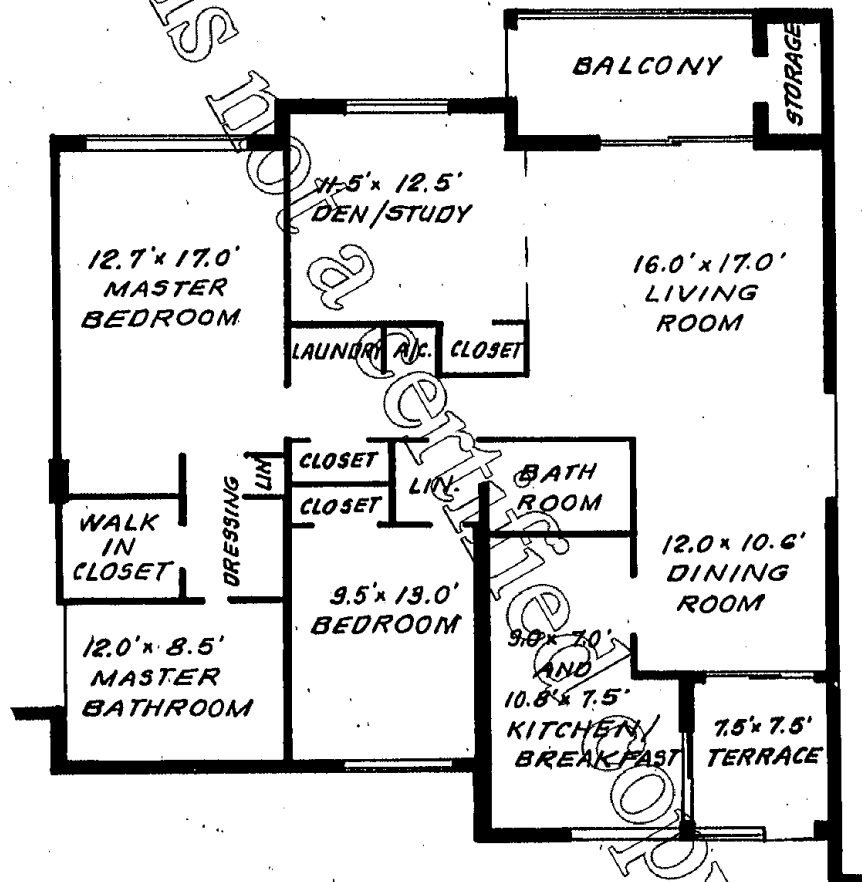


UNITS A-202 TO A-802

DIMENSIONS ARE APPROXIMATE

BRIGHTON
APT. "B"
TYPICAL FLOOR PLAN

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

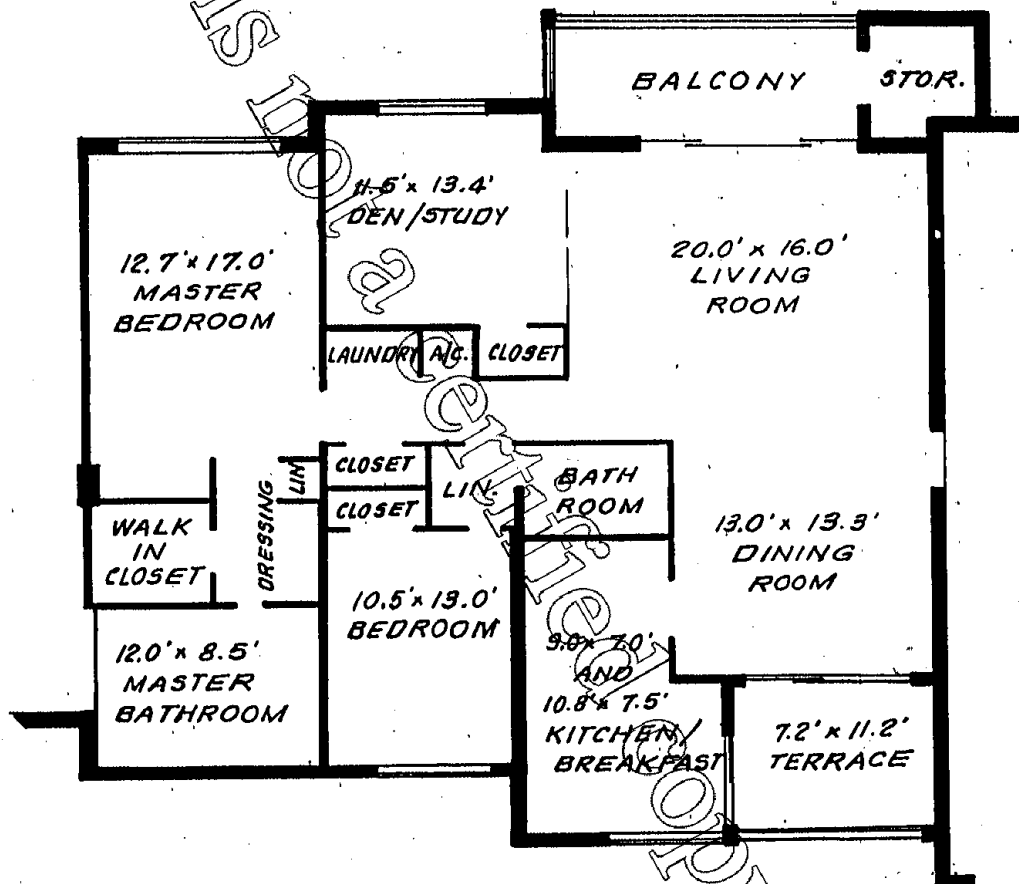


UNIT B-101

DIMENSIONS ARE APPROXIMATE

CAMBRIDGE
APT. "C" MODIFIED REVERSE
TYPICAL FLOOR PLAN

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II



UNITS B-201 TO B-801

DIMENSIONS ARE APPROXIMATE

CAMBRIDGE
APT. 'C' REVERSE
TYPICAL FLOOR PLAN

RECORD VERIFIED
PALM BEACH COUNTY, FLA.
JOHN B. DUNKLE
CLERK CIRCUIT COURT

SDV/11c
10/19/87
101-4213-1

**CONSENT OF MORTGAGEE TO AMENDMENT TO DECLARATION OF CONDOMINIUM
OF REGENCY AT BOCA POINTE, A CONDOMINIUM**

WHEREAS, the undersigned ("Mortgagee") is the holder of a Mortgage, upon land in Palm Beach County, Florida (the "Mortgage"), executed by REGENCY DEVELOPERS, a Florida general partnership ("Mortgagor"). The Mortgage is a lien upon that certain tract of land more fully described in the Mortgage ("Mortgaged Property").

WHEREAS, in accordance with the terms of the Declaration of Condominium of Regency of Boca Pointe, A Condominium, as recorded in Official Records Book 5315, Page 0312 et seq., (the "Declaration"), and pursuant to Chapter 718, Florida Statutes (the "Condominium Act") Mortgagor is submitting a portion of the Mortgaged Property to the condominium form of ownership by the amendment to Declaration of Condominium of Regency at Boca Pointe, A Condominium for Phase 2 (the "Amendment"), to which this Consent is attached.

NOW, THEREFORE, for good and valuable consideration, Mortgagee agrees and declares as follows:

1. Mortgagee hereby consents to the making, execution and recordation of the Amendment.
2. By consenting to the provisions of the Amendment, Mortgagee does not undertake or assume any of the obligations or responsibilities of the Mortgagor or anyone else under the Declaration, as amended, or the Condominium Act of any owner of a Condominium Unit.
3. Nothing contained in this Consent is intended to affect, modify or impair the lien or priority of the Mortgage on any portion of the property encumbered by the Mortgage.
4. All of the terms and conditions of the Mortgage not expressly modified hereby, shall remain in full force and effect.

IN WITNESS WHEREOF, Mortgagee has executed this Consent this 29th day of October, 1987.

Signed, sealed and delivered
in the presence of:

NATIONAL CANADA CORPORATION, a
Delaware corporation (formerly
known as Mercantile Canada
Corporation, a Delaware
corporation)

By: [Signature]

Attest: [Signature]

(CORPORATE SEAL)

Leresa A. Sheffield
Alan M. O'Simone
Leresa A. Sheffield
Alan M. O'Simone

STATE OF Texas)
COUNTY OF Dallas) SS:

The foregoing instrument was acknowledged before me this 29
day of October, 1987, by Steve M. Soeier, as
Vice President of National Canada Corporation, a Delaware
corporation, on behalf of the corporation.

MICHAEL
COMMISSIONER

Nicholas C. Stevenson
Notary Public, State of Florida
My Commission Expires:

RECORD VERIFIED
PALM BEACH COUNTY, FLA.
JOHN B. DUNKLE
CLERK CIRCUIT COURT